

**FORSYTH COUNTY**  
**BOARD OF COMMISSIONERS**

**MEETING DATE:** November 5, 2020      **AGENDA ITEM NUMBER:** 3A - 3B

**SUBJECT:**

- A. PUBLIC HEARING ON AN ORDINANCE AMENDMENT PROPOSED BY PLANNING AND DEVELOPMENT SERVICES STAFF TO AMEND THE UNIFIED DEVELOPMENT ORDINANCES TO ADD GRAPHICS ILLUSTRATING CERTAIN DIMENSIONAL REQUIREMENTS (UDO-CC3)**
  
- B. ORDINANCE AMENDMENT TO ADD GRAPHICS ILLUSTRATING CERTAIN DIMENSIONAL REQUIREMENTS**

**COUNTY MANAGER'S RECOMMENDATION OR COMMENTS:**

**SUMMARY OF INFORMATION:** See attached staff report. After consideration, the Planning Board recommended approval of the zoning text amendment.

**ATTACHMENTS:-**      X   YES        NO

**SIGNATURE:** \_\_\_\_\_      **DATE:** November 02, 2020

**UDO-CC3**  
**A TEXT AMENDMENT PROPOSED BY PLANNING AND DEVELOPMENT SERVICES STAFF TO INTRODUCE GRAPHICS TO THE UDO CLEARCODE TO ILLUSTRATE CERTAIN DIMENSIONAL REQUIREMENTS**

Be it ordained by the \_\_\_\_\_, North Carolina, that the *Unified Development Ordinance* is hereby amended as follows:

**Section 1.** Section 4.1.4.C.14, Flag Lots, is amended as follows:

**14. FLAG LOTS**

**a. FRONTAGE AND WIDTH**

- i. Flag lots must have at least twenty-five (25) feet of frontage on a street or private access easement.
- ii. The "pole" of the flag lot from the frontage of the lot to the buildable area of the lot must be a minimum of twenty-five (25) feet in width along its entire length.

**b. LOT AREA AND YARD CALCULATION**

The pole may not be used for the front setback, lot area or yard calculation of the flag lot or any other lot.

**c. MULTIPLE FLAG LOTS (F)**

If more than one flag lot is proposed to the rear of another lot or stacked off the street, a special use permit from the Board of Adjustment is required.

**d. MULTIPLE FLAG LOTS (W)**

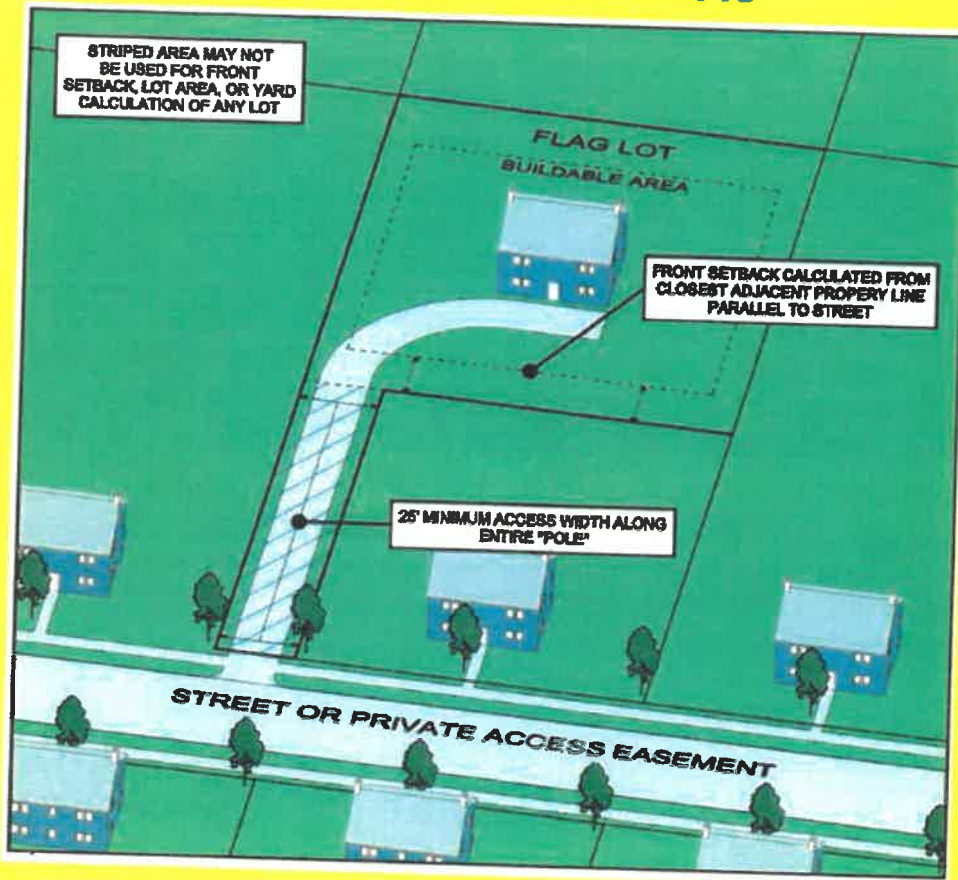
If more than one flag lot is proposed to the rear of another lot or stacked off the street, a minor subdivision exception is required per **Section 3.2.8, Minor Subdivision.**

**e. SETBACK, FRONT**

- i. The front setback for a flag lot shall be measured from the line closest to the buildable area and running most parallel with the street.
- ii. The area of the pole may not be used to measure the front setback.

NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as highlighted. Items with a single underscore are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

**FIGURE 4.1.4.C.14: FLAG LOTS**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

Section 2.Section 4.5.1.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

TABLE 4.5.1: DIMENSIONAL REQUIREMENTS IN THE YR DISTRICT									
ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS [1]					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [3]	FRONT (FT) [4]	REAR (FT)	SIDE [2]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
YR	130,680	300	45	50	20	50	30	No Limit	40

NOTES:

[1] Nonconforming lots in the YR District meeting the provisions of Section 9.3.2, Combination of Nonconforming Vacant Lots and Nonconforming Vacant Lots Approved Prior to 12/31/1994, must meet the minimum setback requirements of the RS-20 zoning district.

[2] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[3] Cul-de-sac lots shall be exempt from lot width requirements.

[4] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

**FIGURE 4.5.1.B: GENERAL DIMENSIONAL REQUIREMENTS - YR DISTRICT**



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only



**Section 3.**Section 4.5.2.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.2: GENERAL DIMENSIONAL REQUIREMENTS IN THE AG DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS [1]					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [3]	FRONT (FT) [4]	REAR (FT)	SIDE [2]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
AG	40,000	150	45	50	20	50	30	No Limit	40

NOTES:

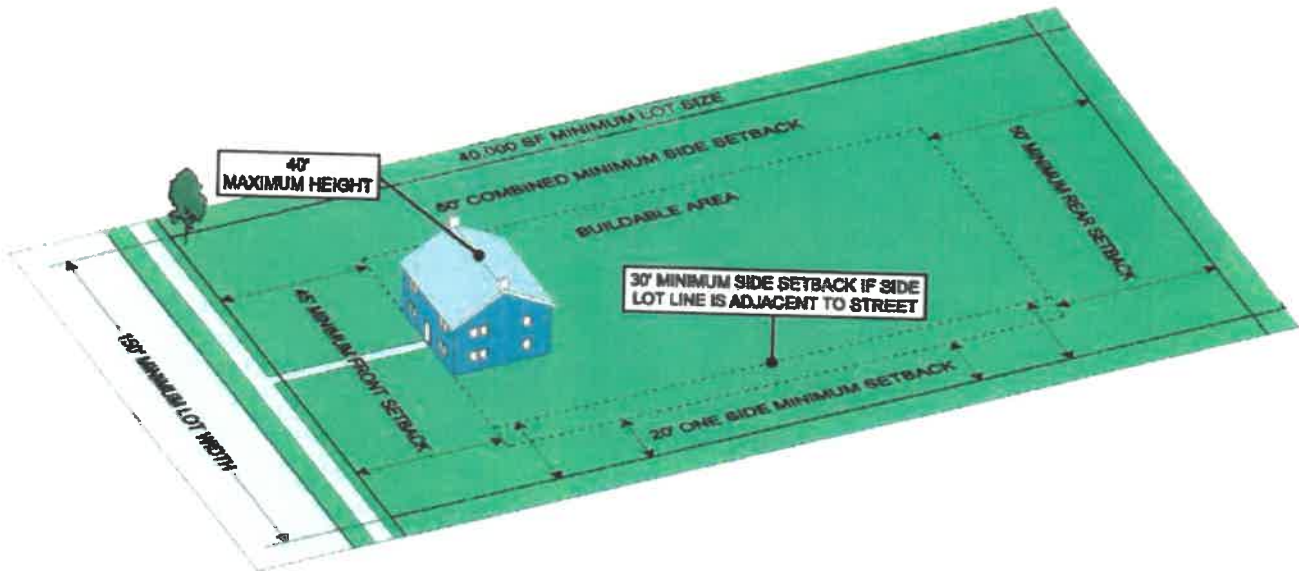
[1] Nonconforming lots in the AG District meeting the provisions of Section 9.3.2, Combination of Nonconforming Vacant Lots and Nonconforming Vacant Lots Approved Prior to 12/31/1994, must meet the minimum setback requirements of the RS-20 zoning district.

[2] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[3] Cul-de-sac lots shall be exempt from lot width requirements.

[4] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

**FIGURE 4.5.2.B: GENERAL DIMENSIONAL REQUIREMENTS – AG DISTRICT**



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

**Section 4.5.3.B, General Dimensional Requirements**, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.3: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-40 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [2]	FRONT (FT) [3][4]	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT) [4]		
RS-40	40,000	100	35	40	10	25	20	No Limit	40

**NOTES:**

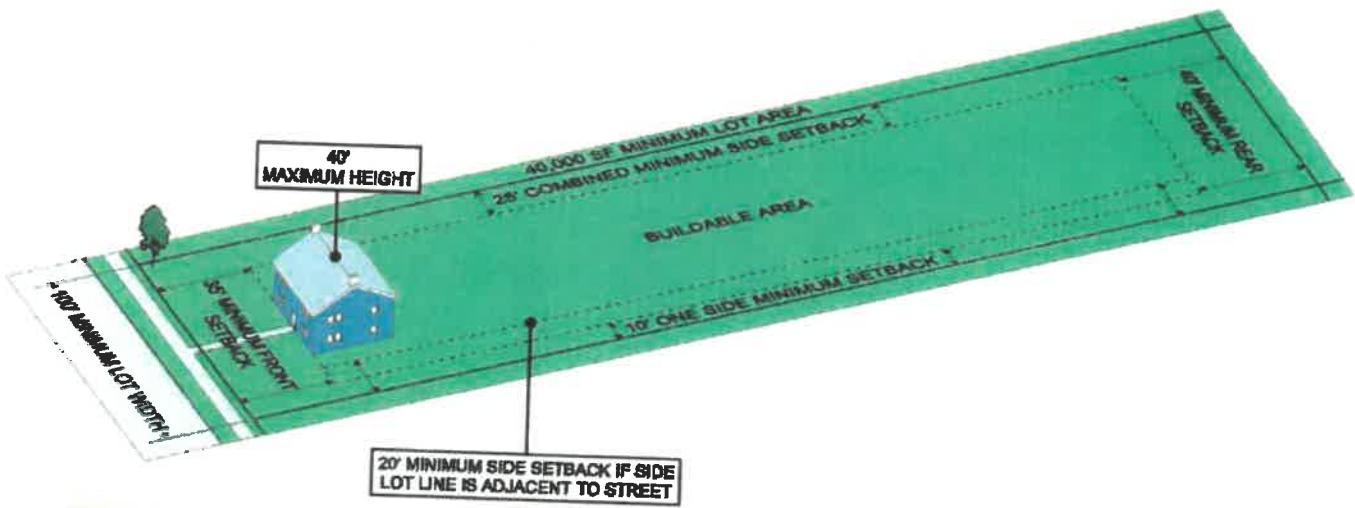
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.3.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-40 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

Section 5, Section 4.5.4.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.4: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-30 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT)	FRONT (FT)	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
RS-30	30,000	100	35	35	7	20	20	No Limit	40

NOTES:

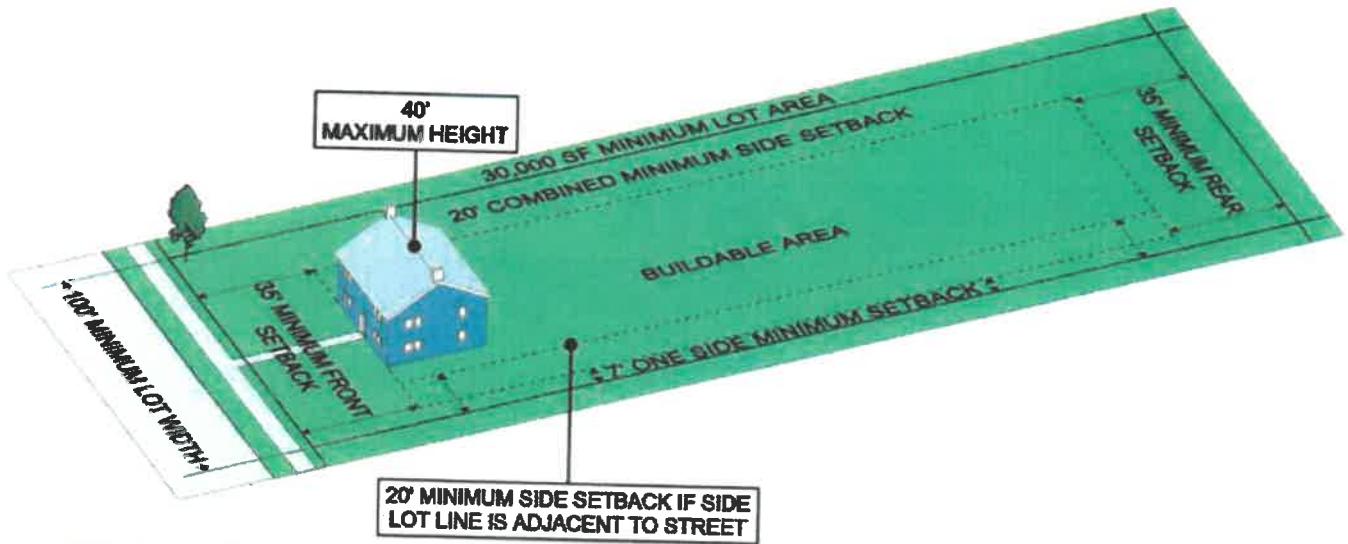
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.4.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-30 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



**Section 6.**Section 4.5.5.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.5: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-20 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT)	FRONT (FT)	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
RS-20	20,000	95	30	30	7	20	20	No Limit	40

**NOTES:**

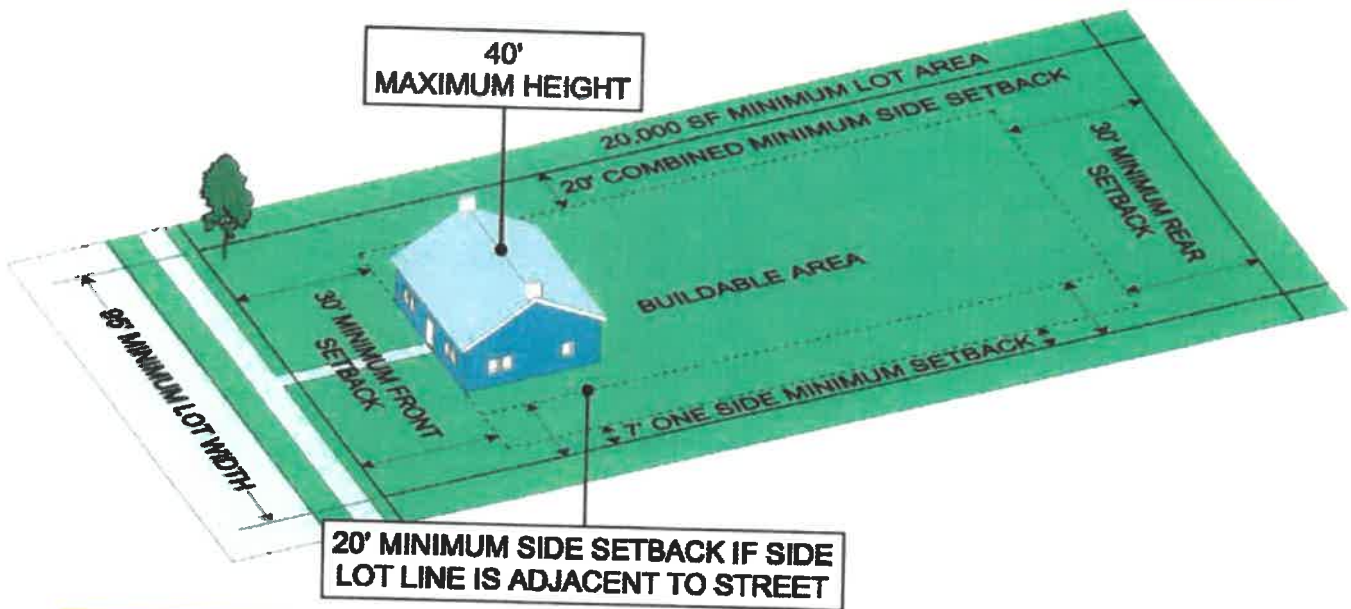
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.5.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-20 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



Section 7.Section 4.5.6.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.6: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-15 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT)	FRONT (FT)	REAR (FT)	SIDE [1]		STREET (FT)		
					ONE SIDE (FT)	COMBINED (FT)			
RS-15	15,000	85	25	25	7	20	20	No Limit	40

NOTES:

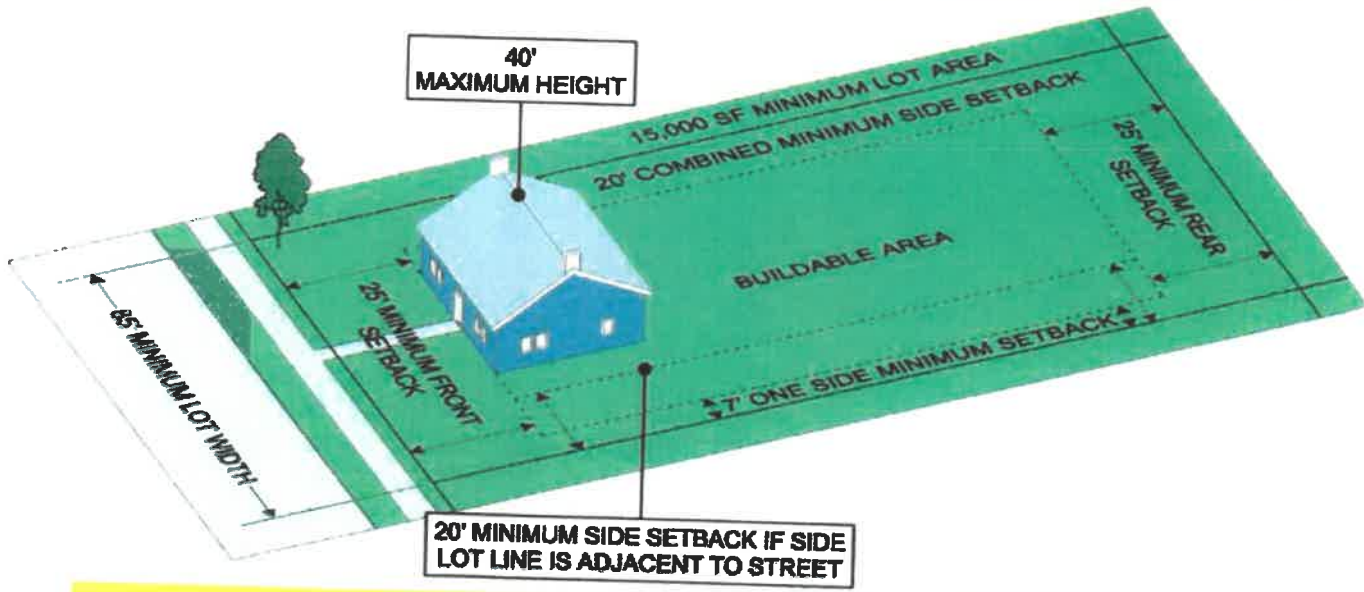
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.6.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-15 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

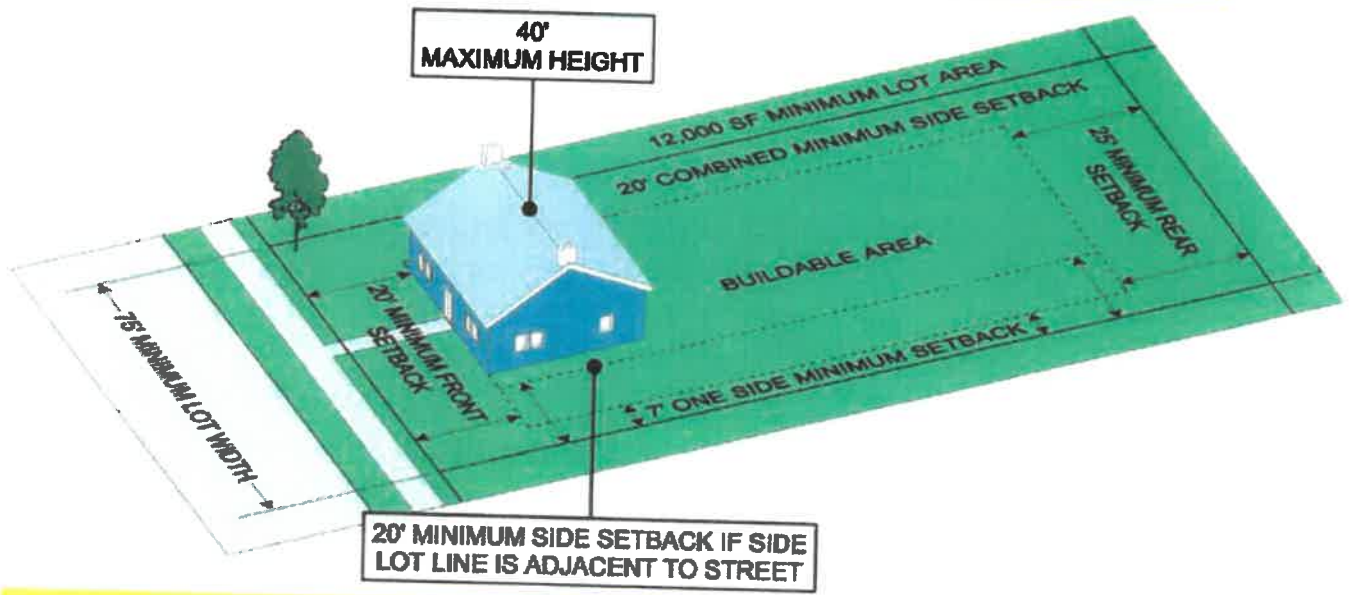
**Section 8.**Section 4.5.7.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

TABLE 4.5.7: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-12 DISTRICT									
ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT)	FRONT (FT)	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
[3]	[4]	[1]	[2]	[3]	[4]				
RS-12	12,000	75	20	25	7	20	20	No Limit	40

NOTES:  
 [1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.  
 [2] Cul-de-sac lots shall be exempt from lot width requirements.  
 [3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.  
 [4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.7.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-12 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

Section 9.Section 4.5.8.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.8: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-9 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT)	FRONT (FT)	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT)		
RS-9	9,000	65	20	25	7	20	20	No Limit	40

NOTES:

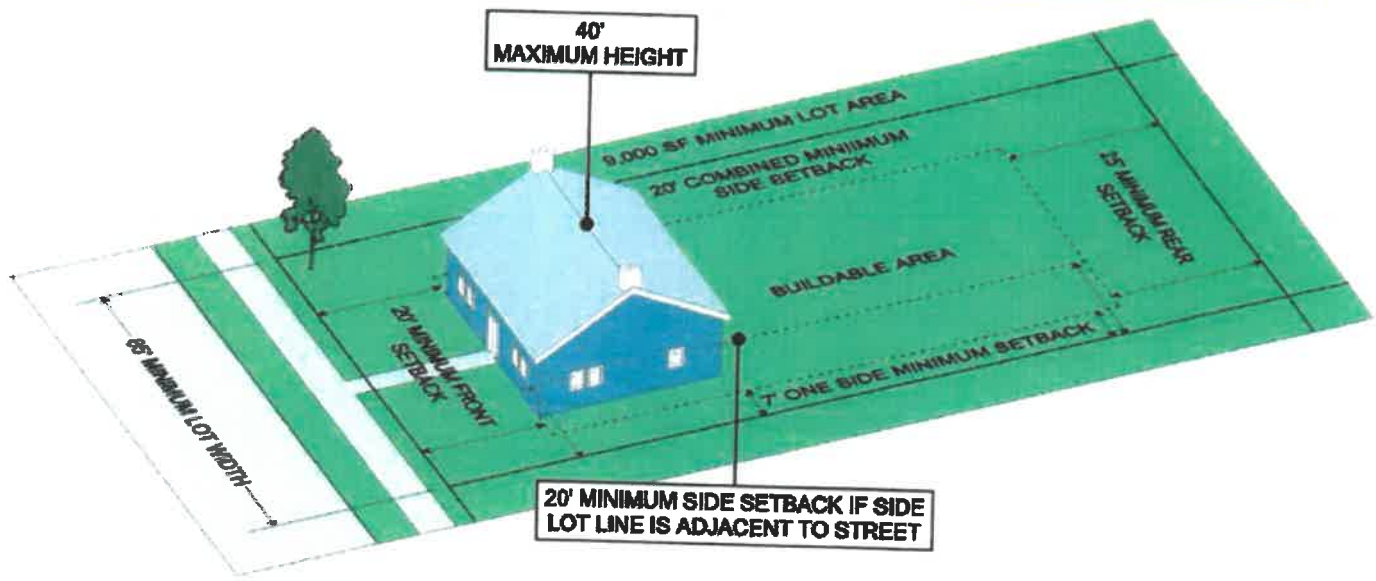
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, *Supplementary Standards For Residential Development In GMA 2 (W)*.

**FIGURE 4.5.8.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-9 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



Section 10.Section 4.5.9.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.9: GENERAL DIMENSIONAL REQUIREMENTS IN THE RS-7 DISTRICT**

ZONING DISTRICT	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [2]	FRONT (FT) [3] [4]	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT) [4]		
RS-7	7,000	50	15	20	5	15	15	No Limit	40

NOTES:

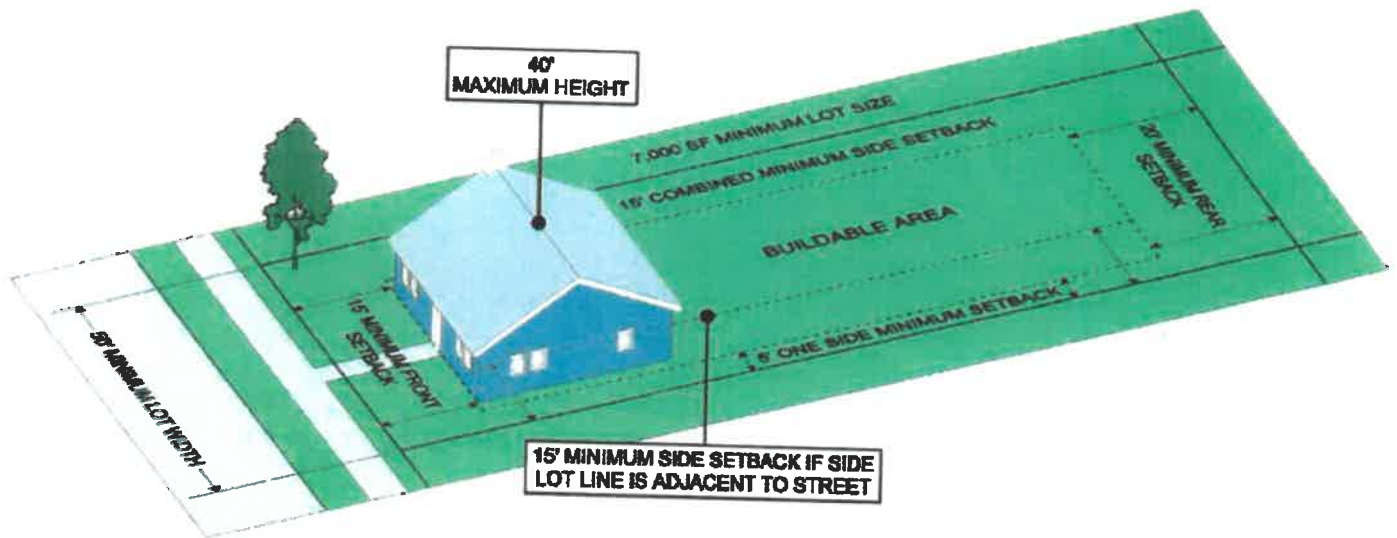
[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.9.B: GENERAL DIMENSIONAL REQUIREMENTS – RS-7 DISTRICT**



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



**Section 11.**Section 4.5.10.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

<b>TABLE 4.5.10: GENERAL DIMENSIONAL REQUIREMENTS IN THE RSQ DISTRICT</b>									
RSQ ZONING DISTRICT/ USE	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [2]	FRONT (FT) [3] [6]	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT) [6]		
Single Family	5,000	40	15	15	5	15	15	No Limit	40
Duplex	7,000	50	15	15	7	15	15	No Limit	40
Twin Homes	[4]	[4]	0 [4]	0 [4]	0 [4]	0 [4]	0 [4]	No Limit	40
Triplex	9,000	60	15	15	10	20	15	No Limit	40
Quadraplex	11,000	60	15	15	10	20	15	No Limit	40
3- or 4- Unit Townhouse	[5]	[5]	0 [5]	0 [5]	0 [5]	0 [5]	0 [5]	No Limit	40
Other	11,000	60	15	15	10	20	15	No Limit	40

NOTES:

[1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.

[2] Cul-de-sac lots shall be exempt from lot width requirements.

[3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.

[4] Lot area, lot width, and building setbacks for Twin Homes shall be the same as for Duplex, however the land under units may be sold with no setbacks.

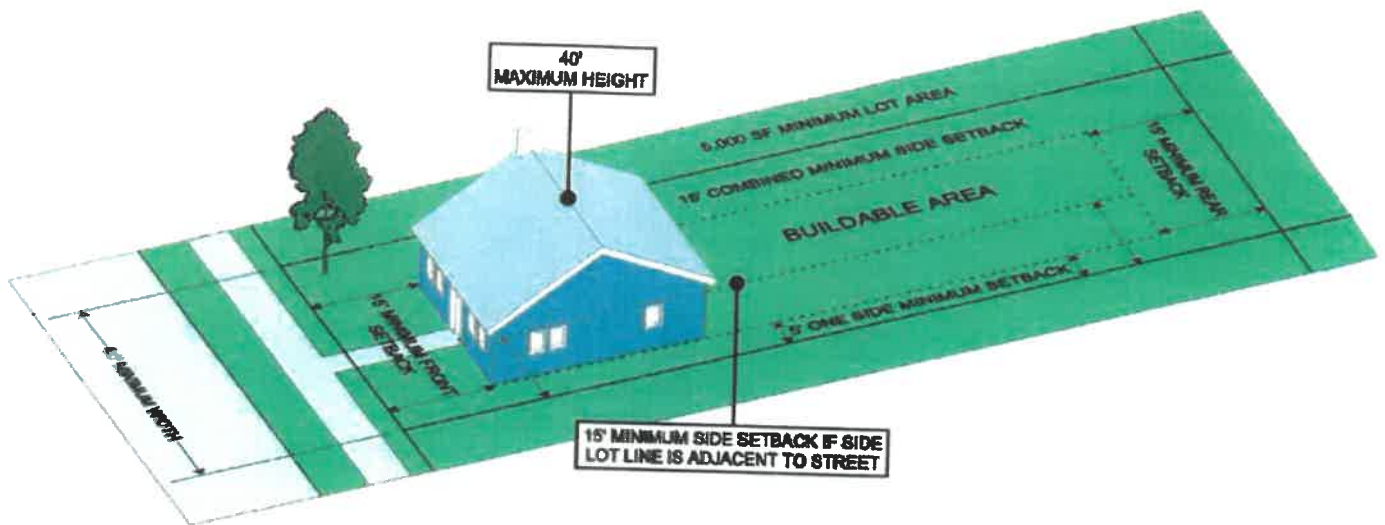
[5] Lot area, lot width and building setbacks for three- and four-Unit Townhouses shall be the same as for Quadraplex, however, the land under units may be sold with no setbacks.

[6] *Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).*

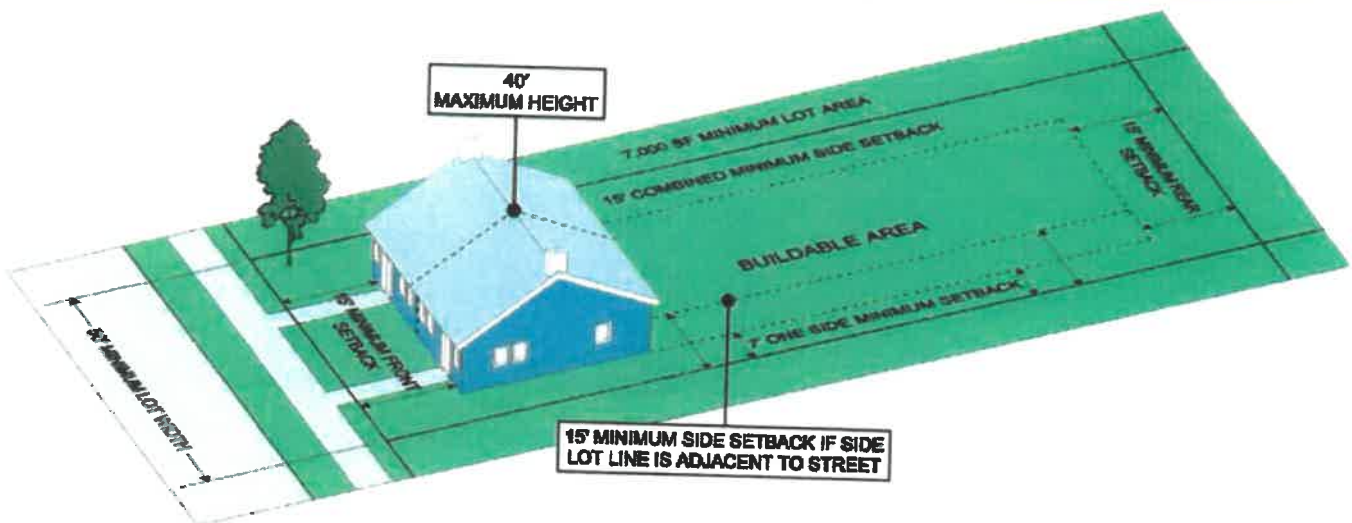
**FIGURE 4.5.10.B: GENERAL DIMENSIONAL REQUIREMENTS – RSQ DISTRICT**

NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underscore are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

## SINGLE FAMILY:

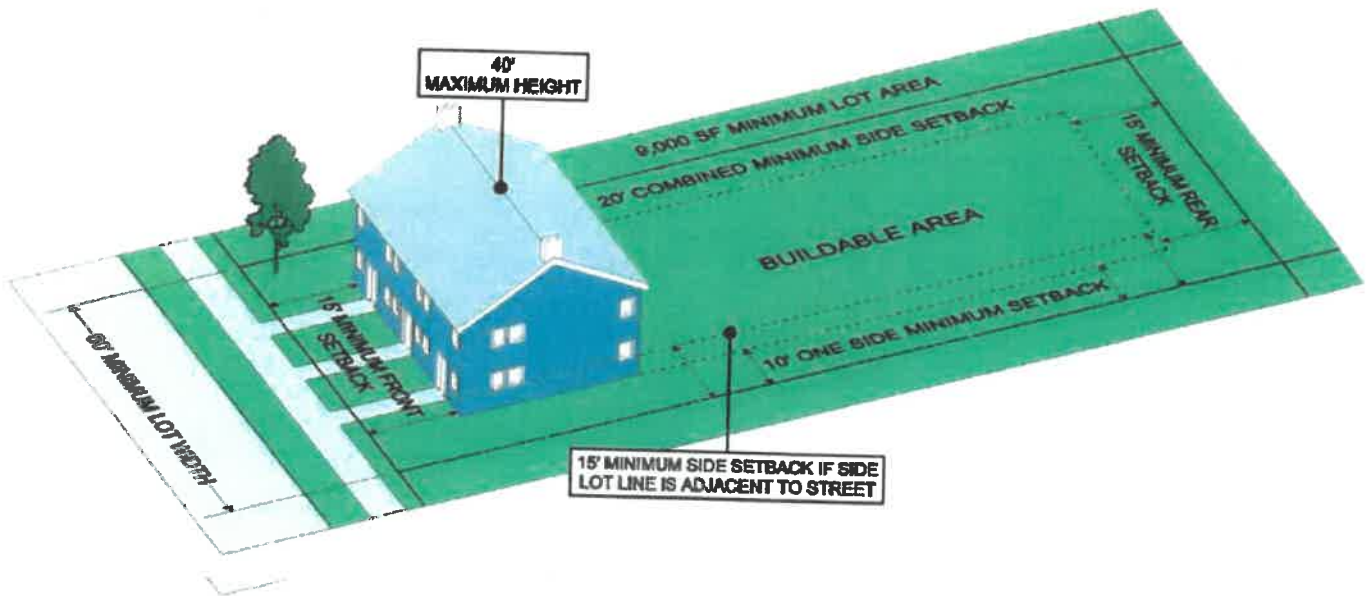


## DUPLEX:

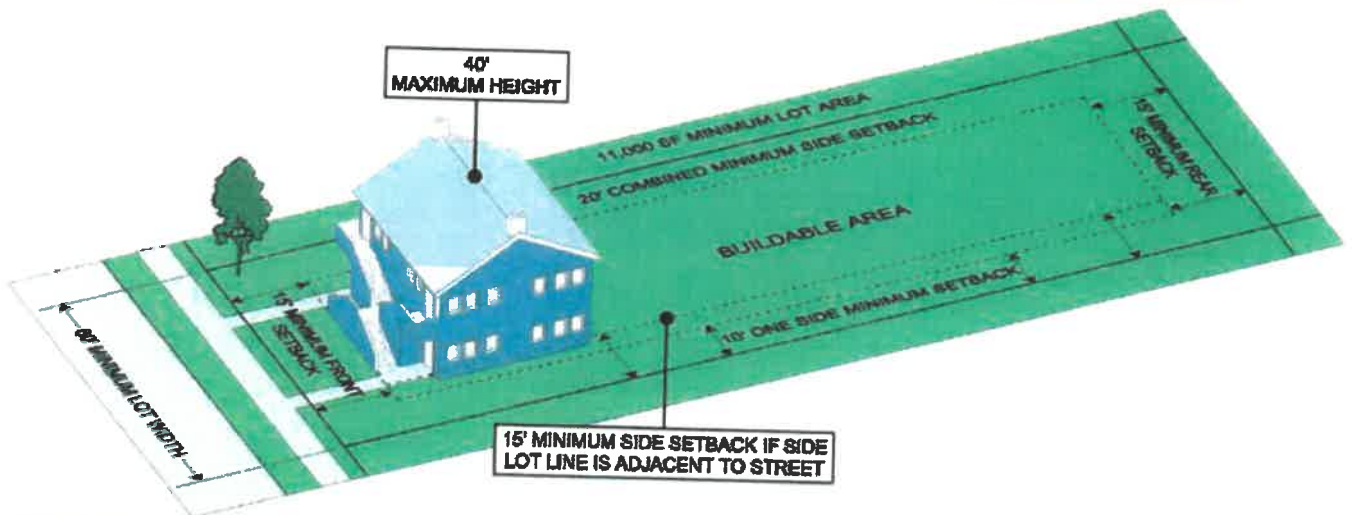


NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

## TRIPLEX:



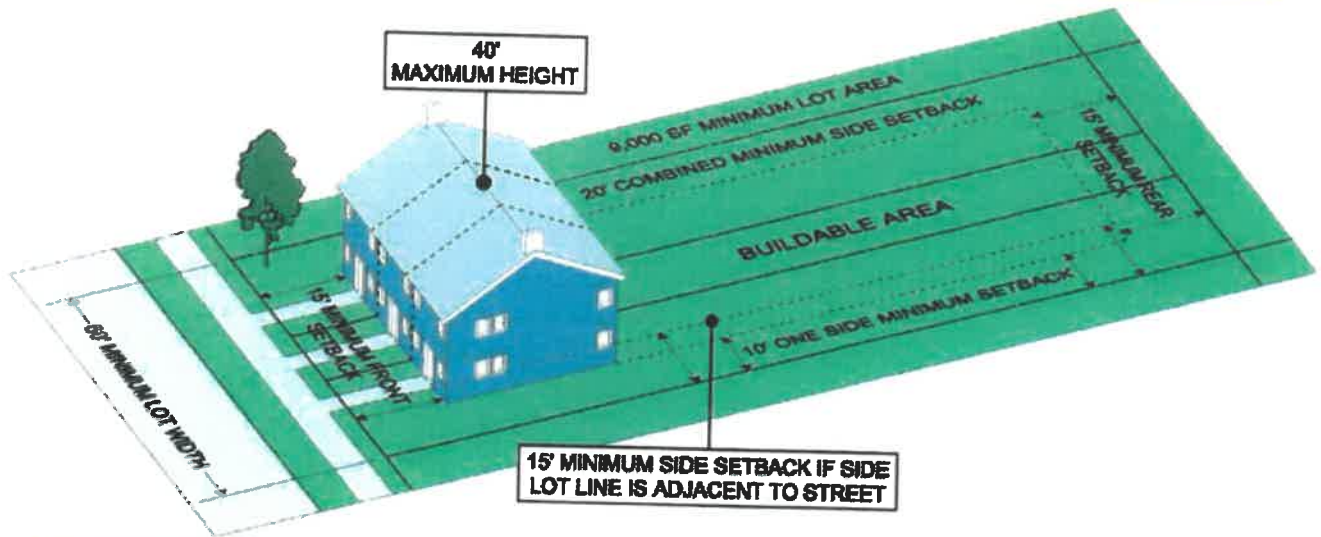
## QUADRAPLEX:



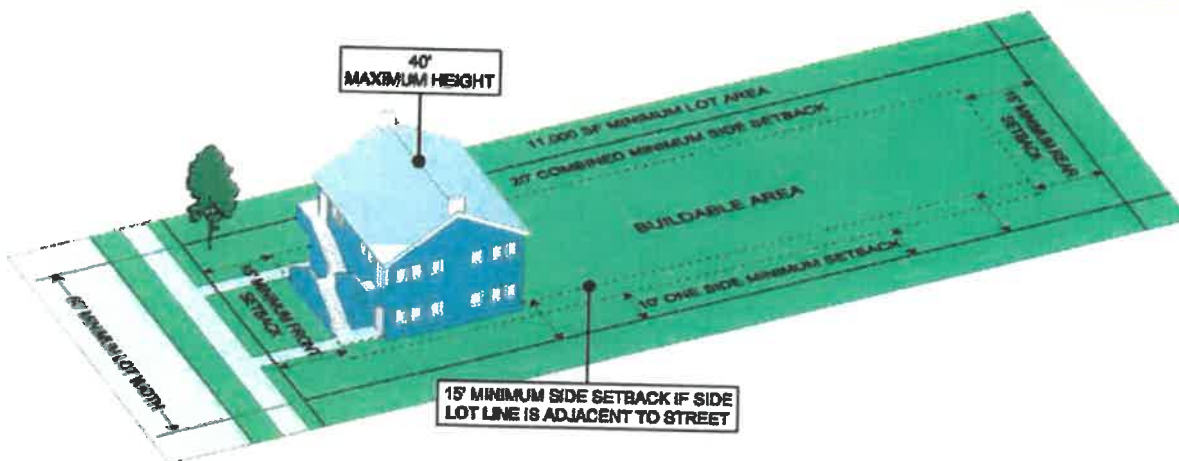
NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



### 3- OR 4- UNIT TOWNHOUSE:



### OTHER:



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underscore are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



Section 12.Section 4.5.10.C, Supplementary District Requirements, is amended as follows:

**C. SUPPLEMENTARY DISTRICT REQUIREMENTS**

**1. PARKING IN SIDE OR REAR**

**a. LOTS IN FORSYTH COUNTY (F)**

- i. All off-street parking shall be provided to the side or rear of the principal building(s) unless the Planning staff determines that, due to lot size, shape, or topographic features, some or all parking cannot be placed to the side or rear.
- ii. All parking shall be set back at least five (5) feet off the property line.
- iii. The intervening five (5) feet shall be landscaped to meet the type I bufferyard standards

of

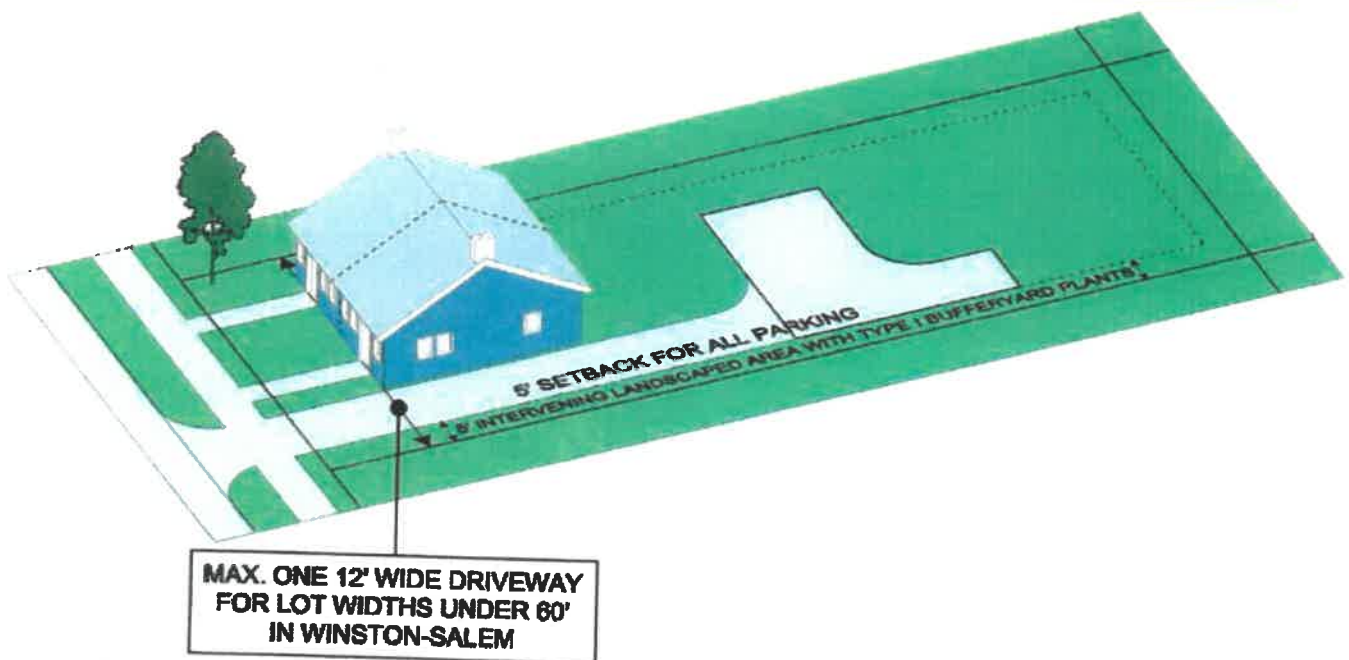
**Table 6.3.2A.3.a. Type I Bufferyard.**

- iv. The provisions of this section shall not apply to single family dwellings.

**b. LOTS IN WINSTON-SALEM**

- i. *All off-street parking shall be provided to the side or rear of the principal building(s) unless the Planning staff determines that, due to lot size, shape, or topographic features, some or all parking cannot be placed to the side or rear.*
- ii. *All parking shall be set back at least five (5) feet off the property line.*
- iii. *The intervening five (5) feet shall be landscaped to meet the type I bufferyard standards of **Section 6.3, Bufferyard Standards.***
- iv. *The provisions of this section shall not apply to single family dwellings with lot widths sixty (60) feet wide or greater at the building line.*
- v. *Lots less than sixty (60) feet wide at the building line shall be permitted only one driveway connection to the street with a maximum driveway width of twelve (12) feet measured at the right-of-way. (W)*

**FIGURE 4.5.10.C.1: PARKING IN SIDE OR REAR**



Section 13.Section 4.5.11.B, General Dimensional Requirements, is amended as follows:

**B. GENERAL DIMENSIONAL REQUIREMENTS**

<b>TABLE 4.5.11: GENERAL DIMENSIONAL REQUIREMENTS IN THE RM-5 DISTRICT</b>									
<b>ZONING DISTRICT/ USE</b>	<b>MINIMUM ZONING LOT</b>		<b>MINIMUM SETBACKS</b>					<b>MAXIMUM IMPERVIOUS SURFACE COVER (%)</b>	<b>MAXIMUM HEIGHT (FT)</b>
	<b>AREA (SF)</b>	<b>WIDTH (FT) [4]</b>	<b>FRONT (FT) [5] [7]</b>	<b>REAR (FT)</b>	<b>SIDE [1]</b>		<b>STREET (FT) [7]</b>		
					<b>ONE SIDE (FT)</b>	<b>COMBINED (FT)</b>			
Single Family	5,000	40	15	15	5	15	15	No Limit	40
Duplex	7,000	50	15	15	7	15	15	No Limit	40
Twin Homes	None	None	0 [2]	0 [3]	0 [3]	0 [3]	0 [2]	No Limit	40
Triplex Multi-family	9,000	60	15	15	10	20	15	No Limit	40
Quadrplex Multi-	11,000	60	15	15	10	20	15	No Limit	40

NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

family									
3- or 4- Unit Townhouse	None	None	0 [2]	0 [6]	0 [6]	0 [6]	0 [2]	No Limit	40
Other	11,000	60	15	15	10	20	15	No Limit	40

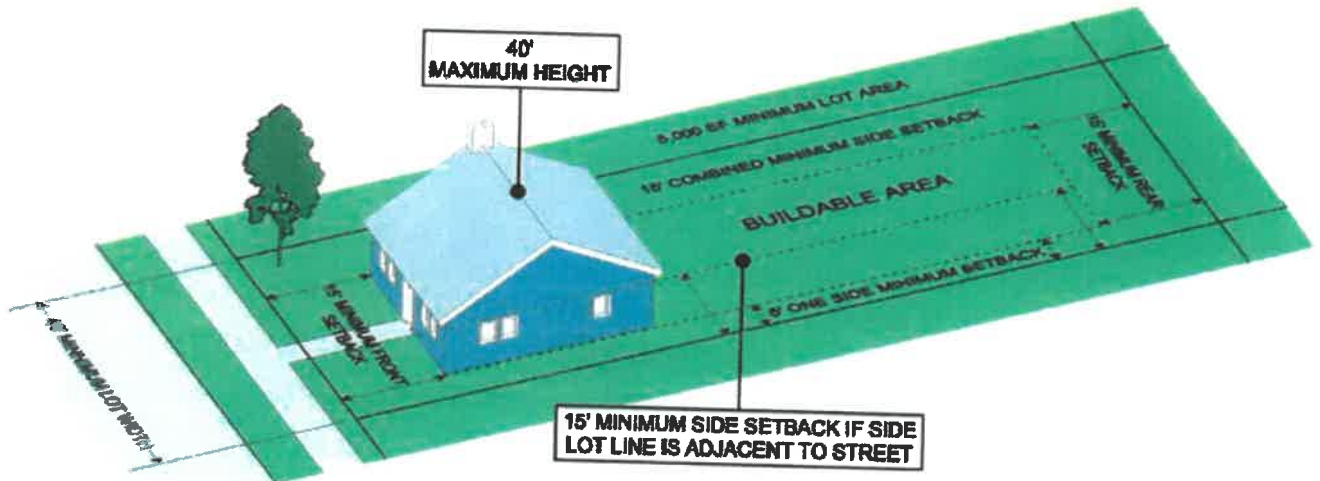
**NOTES:**

- [1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.
- [2] Buildings must be set back minimum fifteen (15) feet off front and side street right-of-way.
- [3] Buildings must be spaced a minimum of fifteen (15) feet from side to side, fifteen (15) feet from side to rear and thirty (30) feet from rear to rear; however, the land under units may be sold with no setbacks.
- [4] Cul-de-sac lots shall be exempt from lot width requirements.
- [5] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.
- [6] Buildings must be spaced a minimum twenty (20) feet from side to side, twenty (20) feet from side to rear and forty (40) feet from rear to rear; however, the land under units may be sold with no setbacks.
- [7] *Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).*

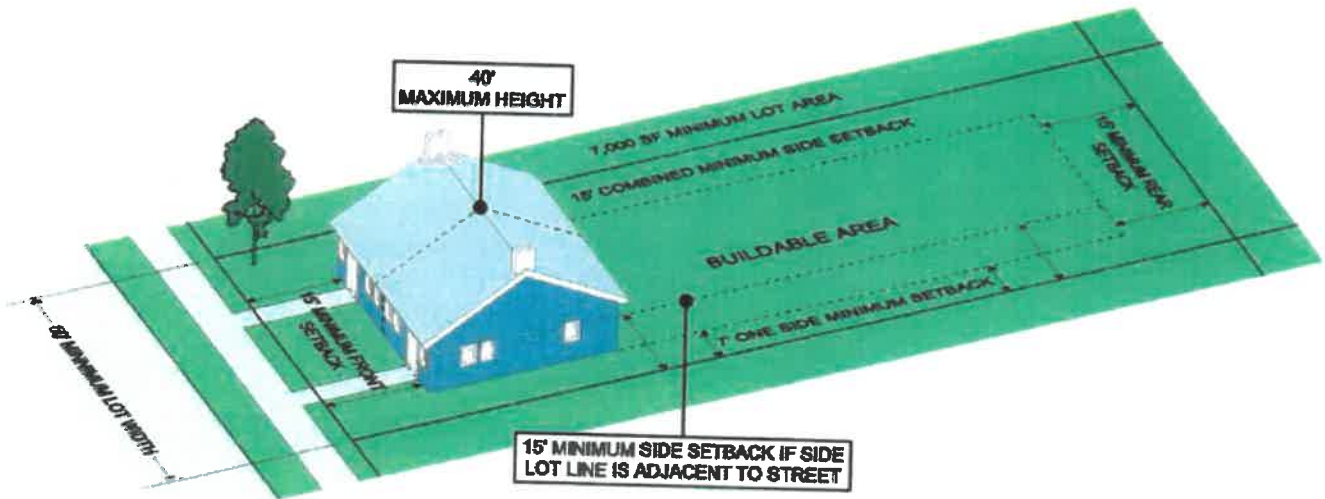
NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underscore are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only

**FIGURE 4.5.11.B: GENERAL DIMENSIONAL REQUIREMENTS – RM-5 DISTRICT**

**SINGLE FAMILY:**



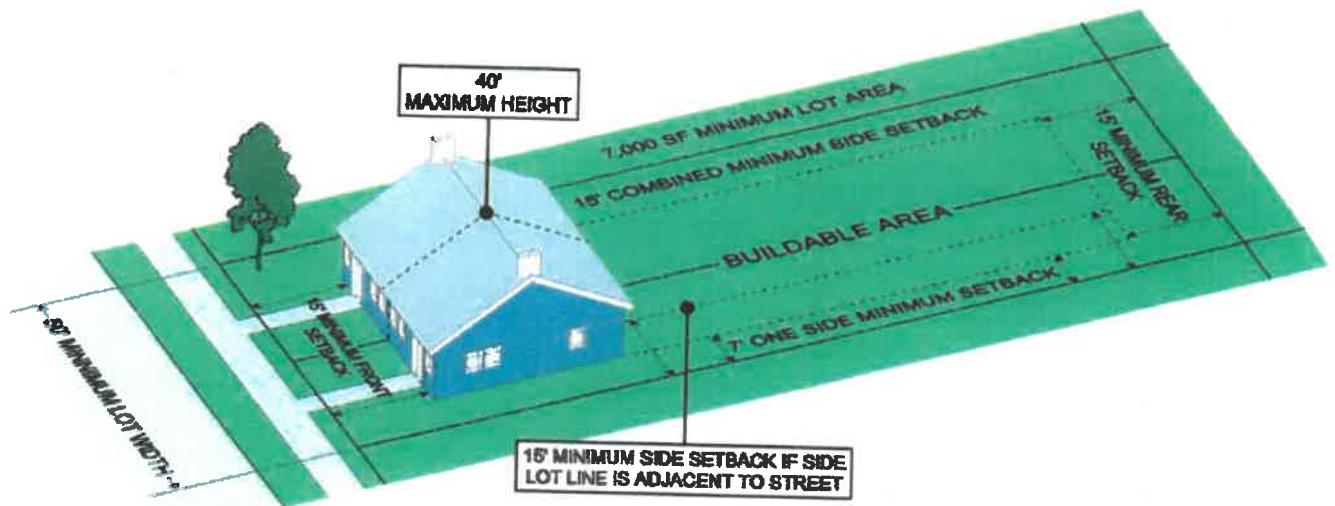
**DUPLEX:**



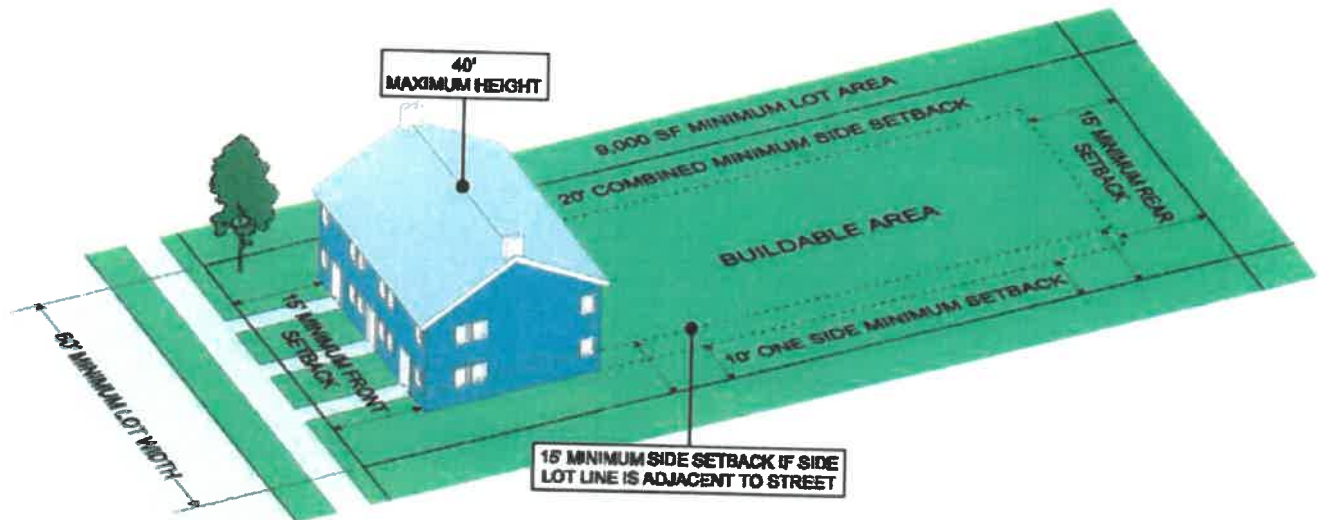
NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.



## TWIN HOMES:

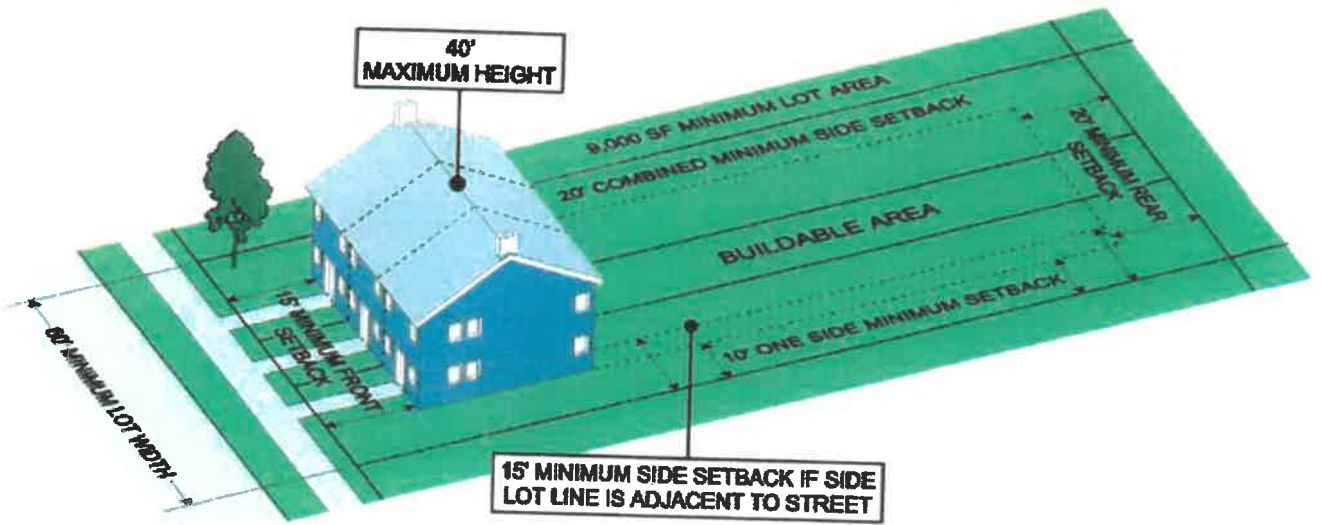


## TRIPLEX:

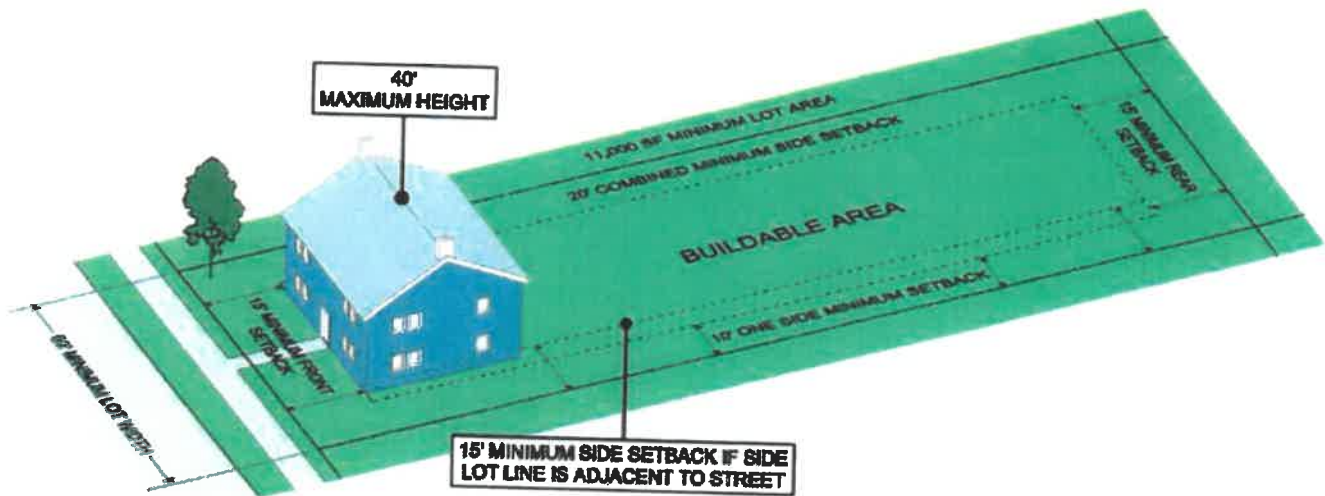


NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

**3- OR 4- UNIT TOWNHOUSE:**



**OTHER:**



NOTE: Items to be removed are indicated with a ~~strike through~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

Section 14.Section 4.5.12.B, General Dimensional Requirements, is amended as follows:

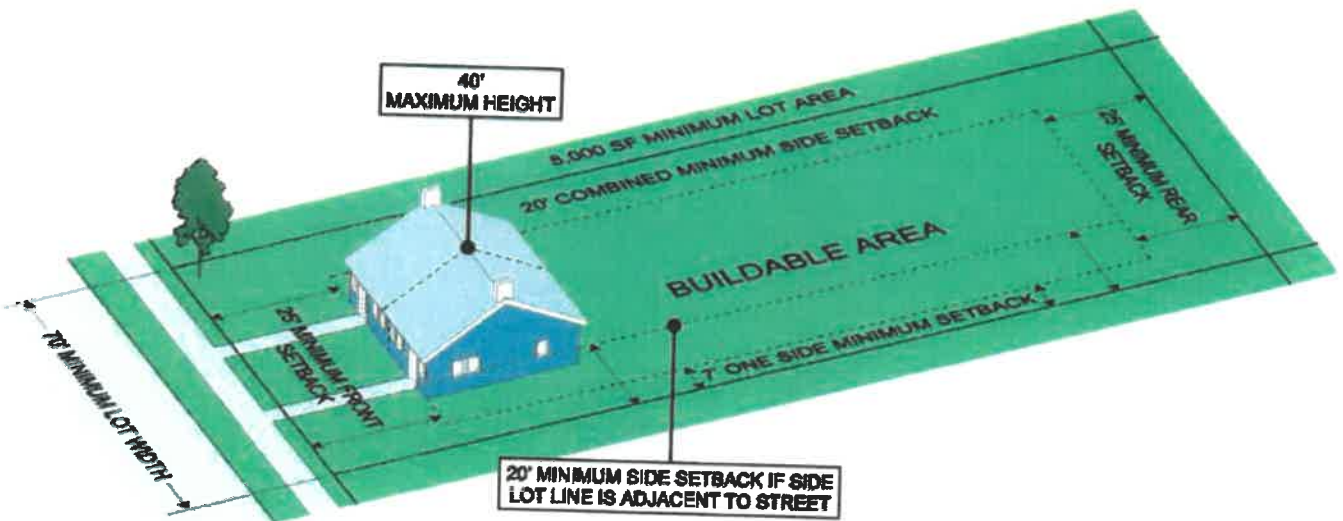
**B. GENERAL DIMENSIONAL REQUIREMENTS**

**TABLE 4.5.12: GENERAL DIMENSIONAL REQUIREMENTS IN THE RM-8 DISTRICT**

ZONING DISTRICT/ USE	MINIMUM ZONING LOT		MINIMUM SETBACKS					MAXIMUM IMPERVIOUS SURFACE COVER (%)	MAXIMUM HEIGHT (FT)
	AREA (SF)	WIDTH (FT) [2]	FRONT (FT) [3] [4]	REAR (FT)	SIDE [1]				
					ONE SIDE (FT)	COMBINED (FT)	STREET (FT) [4]		
RM-8	8,000	70	25	25	7	20	20	70	45

NOTES:  
 [1] Where the main entrance to a single family residence is located on a side yard, the setback for the portion of the wall on which the door is located shall be equal to the front yard setback.  
 [2] Cul-de-sac lots shall be exempt from lot width requirements.  
 [3] Cul-de-sac lots may measure the front setback from a chord or straight line between front lot corners provided it does not decrease the front yard setback from the right-of-way of the cul-de-sac or turnaround more than ten (10) feet from the requirements of the zoning district in which the lot is located.  
 [4] Residential structures in GMA 2 shall meet the requirements of Section 6.4.2, Supplementary Standards For Residential Development In GMA 2 (W).

**FIGURE 4.5.12.B: GENERAL DIMENSIONAL REQUIREMENTS – RM-8 DISTRICT**



Section 15. This ordinance shall be effective upon adoption.

NOTE: Items to be removed are indicated with a ~~strikethrough~~; items to be added are shown as **highlighted**. Items with a single underline are applicable to Forsyth County only, and *italicized* items are applicable to Winston-Salem only.

**CITY-COUNTY PLANNING BOARD  
STAFF REPORT**

**DOCKET:** UDO-CC3  
**STAFF:** Dakota Pahel-Short

**REQUEST**

This text amendment is proposed by Planning and Development Services staff to amend the UDO ClearCode to include graphics for various ordinance provisions. The amendment focuses on improving the clarity of the UDO through illustrating selected ordinance provisions in a visually appealing format that will provide another method of explaining regulations to code users.

**BACKGROUND**

Adding graphics to the UDO was one of the main recommendations of the UDO Code Assessment completed by CodeWright Planners in 2018. Our UDO currently includes few graphics, and the Code Assessment recommended illustrative graphics as a tool for increasing the clarity of the ordinance. To implement this recommendation, the Planning Board included the development of a set of uniform UDO graphics in its 2019-20 work program.

Initially, staff anticipated using a consultant to prepare these illustrative graphics, and an RFP was released in fall 2019. However, none of the submitted proposals met the expectations of staff regarding the number and quality of graphics that would be prepared. Accordingly, staff decided to prepare these graphics "in-house," and the upshot of this decision is that staff has been able to maintain greater control over the graphic development process and make edits in a timely fashion.

**ANALYSIS**

Staff identified specific sections of the UDO where clarifying graphics would be most beneficial and determined the proper type of graphic for each situation, developing a cohesive graphic style to be used throughout the ordinance. The proposed graphics aim to find a balance between being abstract, like a blueprint, and being literal, like a photograph. These isometric drawings provide the necessary perspective to give a simple three-dimensional understanding of the code while allowing for the dimensional relationships between objects to be conveyed. A color scheme for the graphics was developed which complements the appearance of the UDO. Ordinance provisions are further highlighted using line weights, fonts, and consistent symbols.

Staff presented an initial set of UDO graphics to the Forsyth County Quarterly Development Forum and a sub-group of the Winston-Salem Neighborhood Alliance this past winter. Both of these stakeholders were pleased with the direction of the graphics, and staff continued to refine them through discussions with our Permit Office and Land Use Administration staff in recent months.



The 24 graphics included in this text amendment represent the initial set of UDO illustrations. Staff proposes adopting these illustrative graphics in batches as they are completed, so the graphics may be added to the UDO as quickly as possible. Staff will continue working on additional ordinance graphics in the coming fiscal year and will bring additional text amendments to the Planning Board.

Overall, staff believes these illustrative graphics will be beneficial to code users who find the legal language of the UDO difficult to understand.

**RECOMMENDATION: APPROVAL**

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**CITY-COUNTY PLANNING BOARD  
PUBLIC HEARING  
MINUTES FOR UDO-CC3  
JUNE 11, 2020**

Dakota Pahel-Short gave the staff report and explained how incorporating graphics into the UDO would further increase visual appeal and user-friendliness. Dakota showed some examples of graphics that he has been putting together for the past few months.

MelyndaDunigan noted that it would be beneficial to the reader if each graphic were labeled so that the reader would not have to hunt for the dimensional requirements to figure out if it were for single family or multi-family. Aaron stated that Dakota would check his records, and if they are not already in there, staff could add them.

Jack Steelman asked for an explanation as to why an illustration for rear yard parking is included on only one of the drawings. Dakota stated that it was likely due to specific dimensional requirements that were not present in the other set of graphics that are currently being released. Kirk Ericson added that this was not meant to be an exhaustive illustration of every principle in Section 4 of the UDO at this point.

**PUBLIC HEARING**

FOR: None

AGAINST: None

**WORK SESSION**

MOTION: Clarence Lambe recommended that the Planning Board find that the request is consistent with the comprehensive plan.

SECOND: Brenda Smith

VOTE:

FOR: George Bryan, MelyndaDunigan, Jason Grubbs, Tommy Hicks, Clarence Lambe, Chris Leak, Johnny Sigers, Brenda Smith, Jack Steelman

AGAINST: None

EXCUSED: None

MOTION: Clarence Lambe recommended approval of the text amendment.

SECOND: Jason Grubbs

VOTE:

FOR: George Bryan, MelyndaDunigan, Jason Grubbs, Tommy Hicks, Clarence Lambe,  
Chris Leak, Johnny Sigers, Brenda Smith, Jack Steelman

AGAINST: None

EXCUSED: None

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Aaron King

Director of Planning and Development Services

(For publication in the WS Journal Legal Section on  
October 9, 2020 and October 16, 2020)

### NOTICE OF PUBLIC HEARING

NOTICE is hereby given that the Board of Commissioners will hold a public hearing on Thursday, October 22, 2020. The public hearing will be conducted remotely, as allowed by the Board's Remote Participation Policy during this state of emergency.

1. Public Hearing on Ordinance Amendment Proposed by Planning and Development Services to amend sections 3.2.13 and 5.1.5 of the Unified Development Ordinances to Clarify Approval Procedures for Special Use Permits (UDO-CC2)
2. Public Hearing on Ordinance Amendment Proposed by Planning and Development Services to Amend the Unified Development Ordinances to Add Graphics Illustrating Certain Dimensional Requirements (UDO-CC3)

There will be no meeting place where members of the public can be physically present. The Meeting will be broadcast live at 2:00 p.m. on local cable channel WSTV 13-The Government Channel, [http://winston-salem.granicus.com/MediaPlayer.php?publish\\_id=29](http://winston-salem.granicus.com/MediaPlayer.php?publish_id=29) and <https://vimeo.com/forsythcountync>.

All persons interested in the proposed amendments are invited by the Board of Commissioners to present their views. If you wish to submit a written comment, please email to [sloopam@forsyth.cc](mailto:sloopam@forsyth.cc) by Friday, October 23, 2020.

FORSYTH COUNTY BOARD OF COMMISSIONERS  
Ashleigh M. Sloop, Clerk to the Board